



**Department of  
Transportation  
Division of Operations  
Operations Support-Access Management  
5316 West 60th St. North  
Sioux Falls, SD 57107  
605/367-5680 Fax: 605/367-5685**

**MEMORANDUM:**

**TO:** Craig Smith, Mitchell Region Engineer

**FROM:** Brooke A. White, Access Management Engineer

**DATE:** July 13, 2020

**SUBJECT:** SD 34 Access Control Relinquishment Request  
Southridge Professional Building, LLC

Ms. Crabtree has applied for relinquishment of access control for property adjacent to SD 34 in Madison, SD. Ms. Crabtree's stated purpose of this relinquishment is to create an opening in the control of access for an existing entrance to the Southridge Professional Building located at 411 SE 10<sup>th</sup> Street. The existing access was never properly processed; thus, it does not have an approved break allocated to it. Ms. Crabtree's application will cover the original permit that was submitted for the existing access. A copy of Ms. Crabtree's application for relinquishment is attached as Exhibit A. A copy of the original access permit application is attached as Exhibit B. The original permit specified that the access would be shared with the property to the east. The current plan is for the access to reside wholly on the Crabtree property. This is the only detail that does not correlate with the original permit.

Ms. Crabtree has plans to add additional buildings to the site of the existing facility. This will result in additional traffic to the site. A full width, 30' approach, will be necessary to accommodate the future conditions. A copy of the tentative site plan for this parcel is attached as Exhibit C. The most recent construction project, NH 0034(163)387, only provided for a 21' approach. A copy of plan sheets B45 and B46 is attached as Exhibit D.

Control of access along this property is shown on the judgement, recorded in 1977. A copy of this judgement is attached as Exhibit E. The only access location for the NW1/4 of Sec 17-T106N-R52W granted by the judgement is shown as point A on Exhibit F.

Point B is the existing access location slated for the creation of a break at the width specified in the original permit.

A warranty deed was recorded in Lake County conveying ownership to the Southridge Professional Center, Inc from the City of Madison. The deed was recorded on August 6, 2002. An additional warranty deed was recorded conveying ownership to Southridge Professional Building, LLC from Southridge Professional Center, Inc. The deed was recorded on February 1, 2016. A copy of these deeds is attached as Exhibit G.

Please note the following points regarding this application:

- SDDOT purchased control of access from properties along this section of highway to prevent the proliferation of driveways, except at planned locations. Control of access helps manage accident risk and congestion, thereby preserving the public investment in expressway and other high-importance facilities.
- The request is at a location with existing commercial development. The relinquishment, if granted, would simply allow for the approval of a break for the access as it exists today at the width specified in the permit from 2002.
- The proposed access location does not meet access spacing criteria established by SD administrative rule 70:09. This section of highway is classified as expressway. A classification of expressway constitutes 2640' spacing between all access points. Currently, there is Washington Ave approximately 444' west of the proposed access location and a field approach approximately 628' to the east.

This proposal has been discussed with the Right-of-Way Office, Project Development Office, Legal Office, Road Design Office, and Sioux Falls DOT Area Office. All parties concur that the request for the break in control of access and expansion from its dimensions of today, should be approved.

## APPLICATION for RELINQUISHMENT of ACCESS CONTROL

The South Dakota Department of Transportation obtains specific rights to prevent access to the State highway system from properties on certain priority routes. The South Dakota Transportation Commission may authorize sale of these rights at fair market value when such action will not harm public safety or traffic operations. Landowners will be responsible for acquiring the appraisal to determine fair market value and upon approval by the Commission, must pay the appraised value to the SDDOT. Authorization of the Federal Highway Administration may also be required. Use this form to request relinquishment of access control. Use a separate form for each area of relinquishment (maximum 40 feet of frontage). **Submit to appropriate SDDOT Area Office.** A listing of offices is provided on the second sheet of this application. Relinquishment of access control does not automatically convey a permit to build an access approach. An approach permit must also be submitted and approved.

### SECTION 1: To be completed by applicant

Name of applicant Asnvey Crabtree / Southridge Professional Bldg. LLC

Mailing address PO Box 58. Madison, SD 57042

Telephone numbers DAY 605-291-2767 EVENING 605-695-3389

- Location of requested access: (Provide highway, county, property legal description and distance to an identifiable landmark such as an existing public roadway or mile marker. Attach maps or drawings as necessary)
- Attach additional documentation explaining why the relinquishment is needed, the intended use of the break location, anticipated impact to the highway system if the break is allowed, and acceptable alternatives in the event the break is denied.

### SECTION 2: For SDDOT use only

Application received date: ~~5/29/19~~ 07/08/2020-BAW

- ☒ Briefing prepared
- ☐ FHWA authorization required
  - ☐ Approved
  - ☐ Denied
- ☐ Legal counsel review
- ☐ Transportation Commission action
  - ☐ Approved
  - ☐ Denied
- ☐ Right-of-Way appraisal
- ☐ Payment received date: \_\_\_\_\_

Request is    Approved    Denied

Authorized Signature: \_\_\_\_\_ Date: \_\_\_\_\_ DOT-166B

## Exhibit A

### Application for Relinquishment of Access Control

Location of requested access:



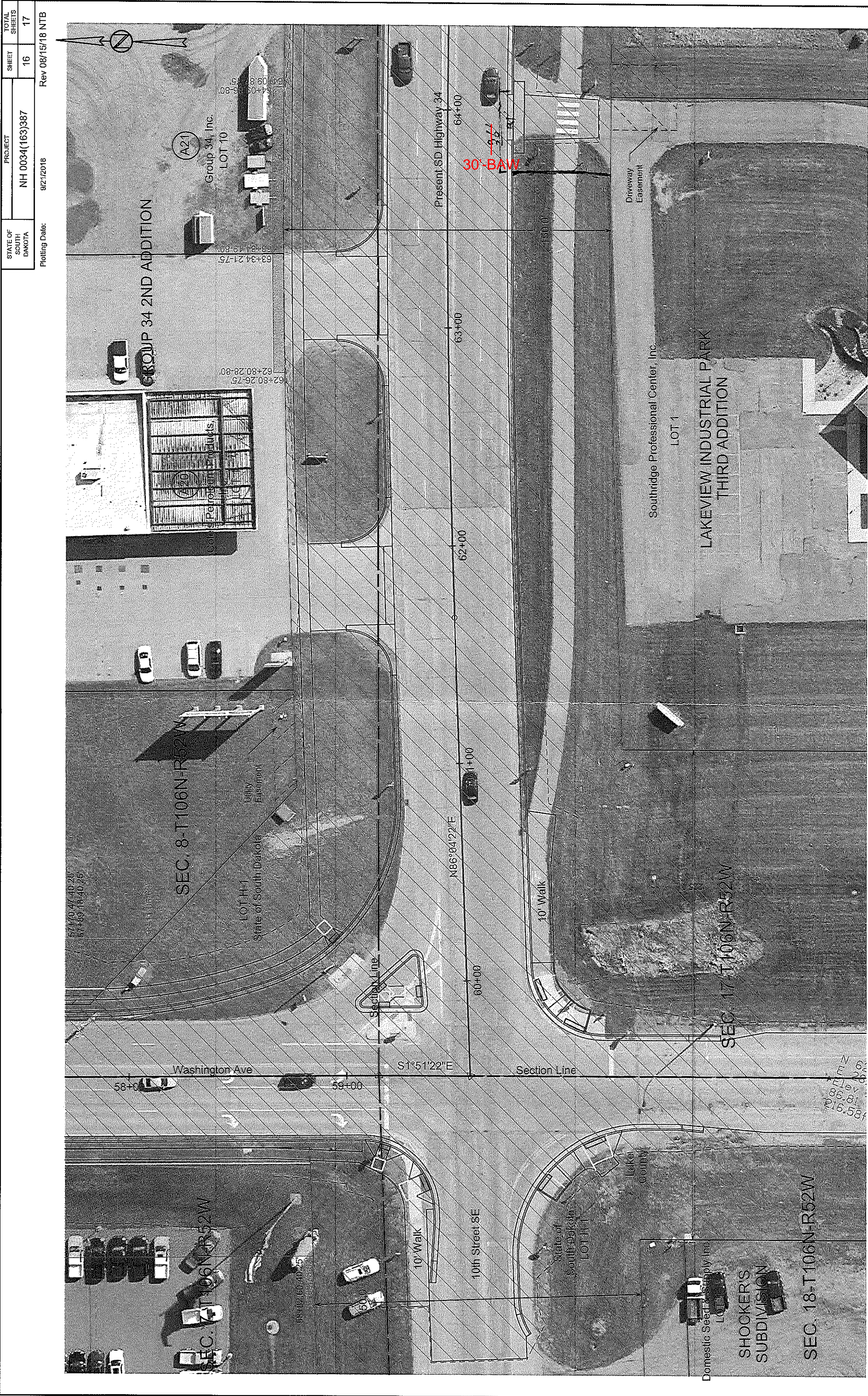
### Additional Documentation:

The current permitted driveway is 21' W (approximately). The narrow driveway provided for some difficult conditions this winter with snowfall. If we can widen the approach it will allow traffic to exit the highway more efficiently and increase safety with the approach.

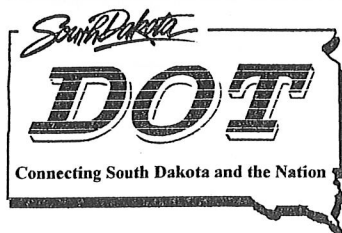
Initial plans for the site was to have at least three office buildings on the lot. A revised/updated site drawing will be attached to the email showing that possibility. It is unknown if/when future buildings would be added to the site.

Attached is additional information on why the relinquishment is needed.









## Department of Transportation

### Sioux Falls Area Office

5316 West 60<sup>th</sup> Street North

Sioux Falls, SD 57107 605/367-5680

FAX: 605/367-5685

May 20, 2002

Mr. Judson Bergan  
1108 Regency Drive  
Madison, South Dakota 57042

Ref: DOT-232 Approved

Mr. Bergan:

Please find enclosed a permit to construct an access approach in the right-of-way on SD 34. Your permit has been approved based on the conditions shown below and as stated on the permit.

- Surfacing on the approach within the R.O.W. shall be done by the landowner
- All work shall be completed within 45 days once work begins
- All work shall be completed on or before September 1, 2002.

A copy of this permit should be kept in the field at all times during construction of the access approach. It is requested that you contact the person listed below prior to work beginning and at the completion of the work:

**South Dakota Department of Transportation**  
**Will Risling, Maintenance Supervisor**  
**605-941-4482**

Should you have any questions please contact this office. Thank you for your cooperation.

Sincerely,  
SD Department of Transportation  
Jeff Senst, Area Engineer

A handwritten signature in black ink, appearing to read "Greg L. Aalberg", is written over a horizontal line.

Greg L. Aalberg  
Engineering Supervisor

cc: Risling  
file

## SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION

## APPLICATION FOR PERMIT TO CONSTRUCT ACCESS APPROACH

The undersigned hereby makes application for permission to construct an access approach described below and as shown on the attached drawing hereby made part of the application to:

Route No. Highway 34 County Lake Approx. one tenth Mi. east  
 From County Highway 33 for access to a Proposed Business Site (411 10th St SE.)  
 Residence or Business & Type Rural Mailbox, etc.  
 Section 17 (North) Township 106 Range 52 Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Project \_\_\_\_\_ Sta. \_\_\_\_\_ M.P. 391.856 +1-  
 Approach Width 30' ± Drainage Structure N/A (Curb & Gutter) R/W Width from Centerline \_\_\_\_\_

AGREEMENT

I, the undersigned, request permission to construct an access approach on public right-of-way at the above location subject to the rules and regulations set forth in the current Highway Approach Policy and Regulations of the South Dakota Department of Transportation, Division of Planning/Engineering. In consideration for this permission, the applicant agrees to the following:

1. Construct the approach(s) in a safe manner so as not to interfere with or endanger public travel and to perform all work in a neat and workmanlike manner using materials acceptable to the Department of Transportation. The right-of-way will be cleaned and left in a condition equal to or better than the original condition. The applicant will fully protect the traffic on the highway during construction covered hereunder by proper signs, barricades, flagmen and lights and to hold harmless the South Dakota Department of Transportation, its officers and employees from all damages, expense, claims or liabilities arising out of any alleged damages of any nature to any person or property, due to the construction performance or non-performance of work or existence of said approach.
2. No approach shall be constructed and placed in such a manner that there will be parking or servicing of vehicles on the highway right-of-way.
3. Special additional requirements See Attached Sheets

Name Judson J. Bergan Mailing Address 1108 Regency Dr. Phone Number 605-256-2324  
 City Madison State SD 57042 Representing Madison Professional Plaza  
 Firm or Organization  
 Signature JJ Bergan, OD Date 4-30-02

Prior to commencing any work at the site and at completion of the work, the applicant shall notify Will Rishling - Maint. Supv.  
 located at SDDOT- Sioux Falls Area Telephone 605-941-4482

The approach permit is granted with the conditions stated herein this 20 day of May Year 2002

Recommended by: [Signature] Engineering Supervisor Concurrence by: [Signature] City/County Engineer

Approved by: [Signature] Area Engineer

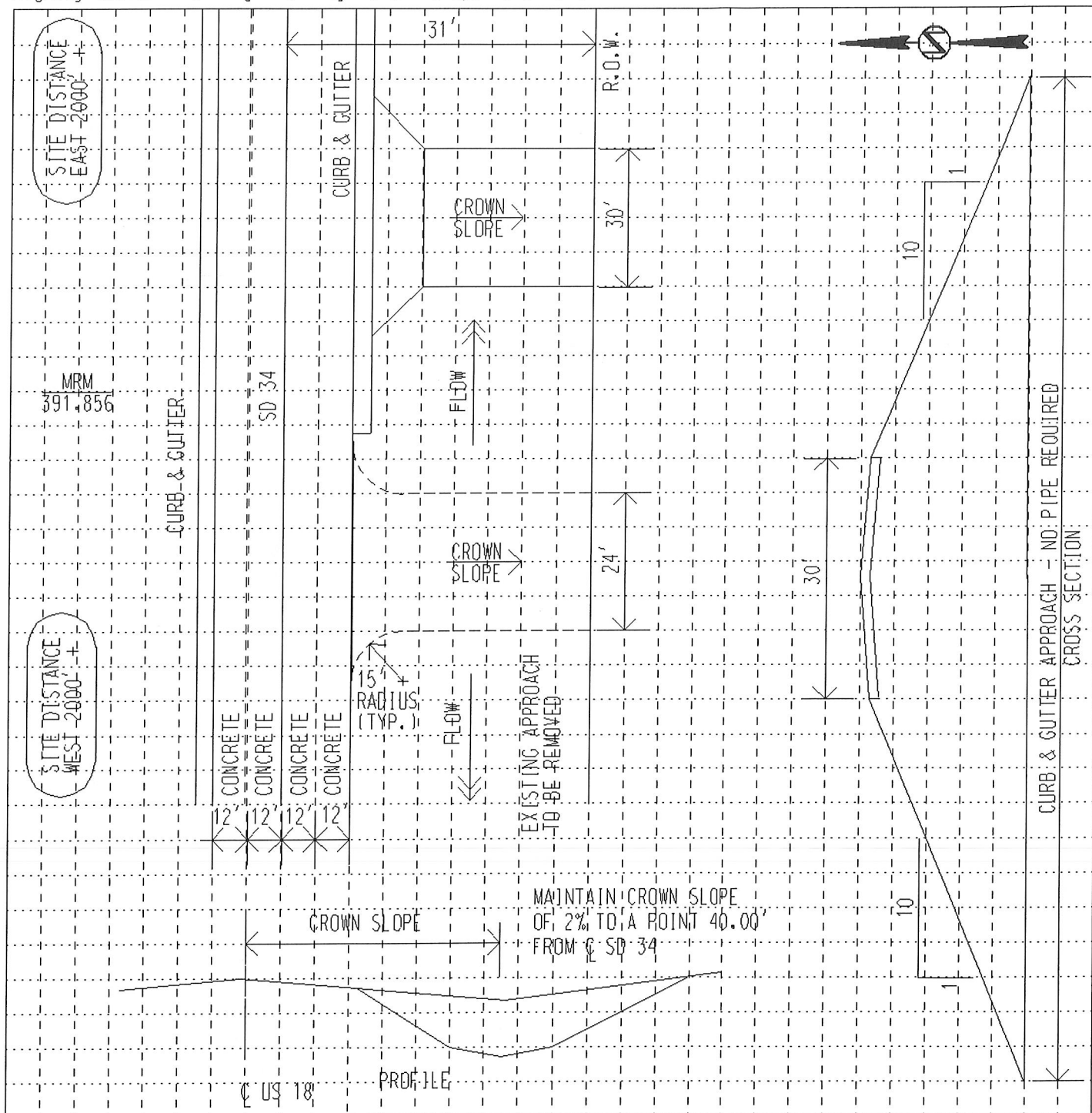
NOTE: After Region approval, requests in areas of "Controlled Access" are to be forwarded to the Office of Right-Of-Way to obtain concurrence of FHWA and the approval of the State Transportation Commission. Concurrence will be returned to the Region Office for distribution.

Distribution: Area Engineer, Maintenance Supervisor, Applicant

PERMITTEE JUDSON BERGAN ADDRESS LAKE 22  
ROUTE SD 34 MAINT. 0344-272 MRM 391.856 COUNTY LAKE  
SPECIAL REQUIREMENTS Curb and Gutter approach, no pipe required.  
Maintain 10:1 slope on inslopes. Maintain 2% crown slope to a point 40.00' from  
centerline SD 34. Existing curb and gutter shall be cut full depth and removed.  
Restore all disturbed areas to the satisfaction of the SDDOT and the City of Canton.

DRAWING

Show approach location and width, drainage pipe diameter and location, north arrow, highway centerline, right-of-way, and inslope rate, etc



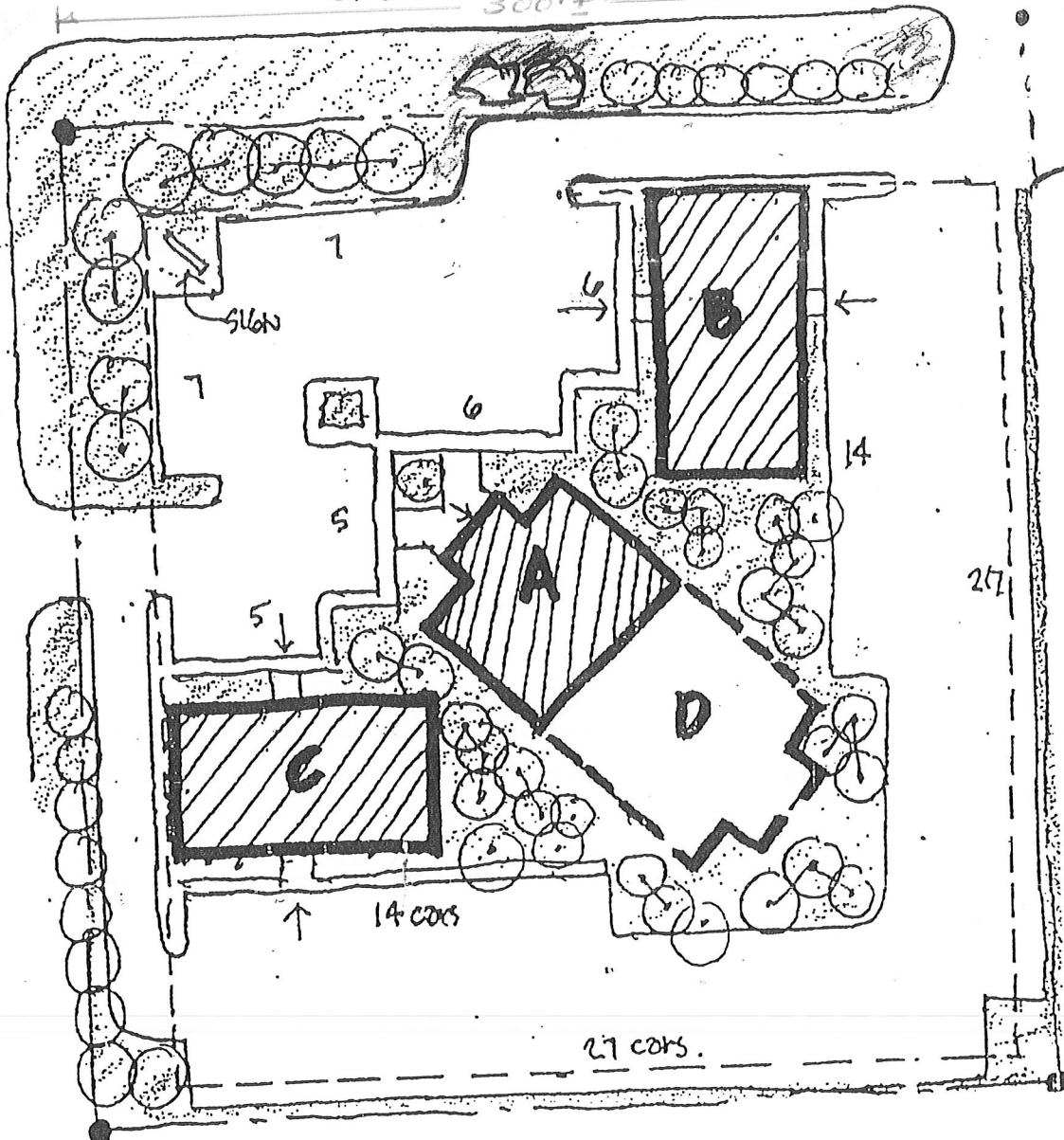
Date Work Completed \_\_\_\_\_ Date Work Completed \_\_\_\_\_



30 ft. access  
approach  
(shared with  
Neighbor)

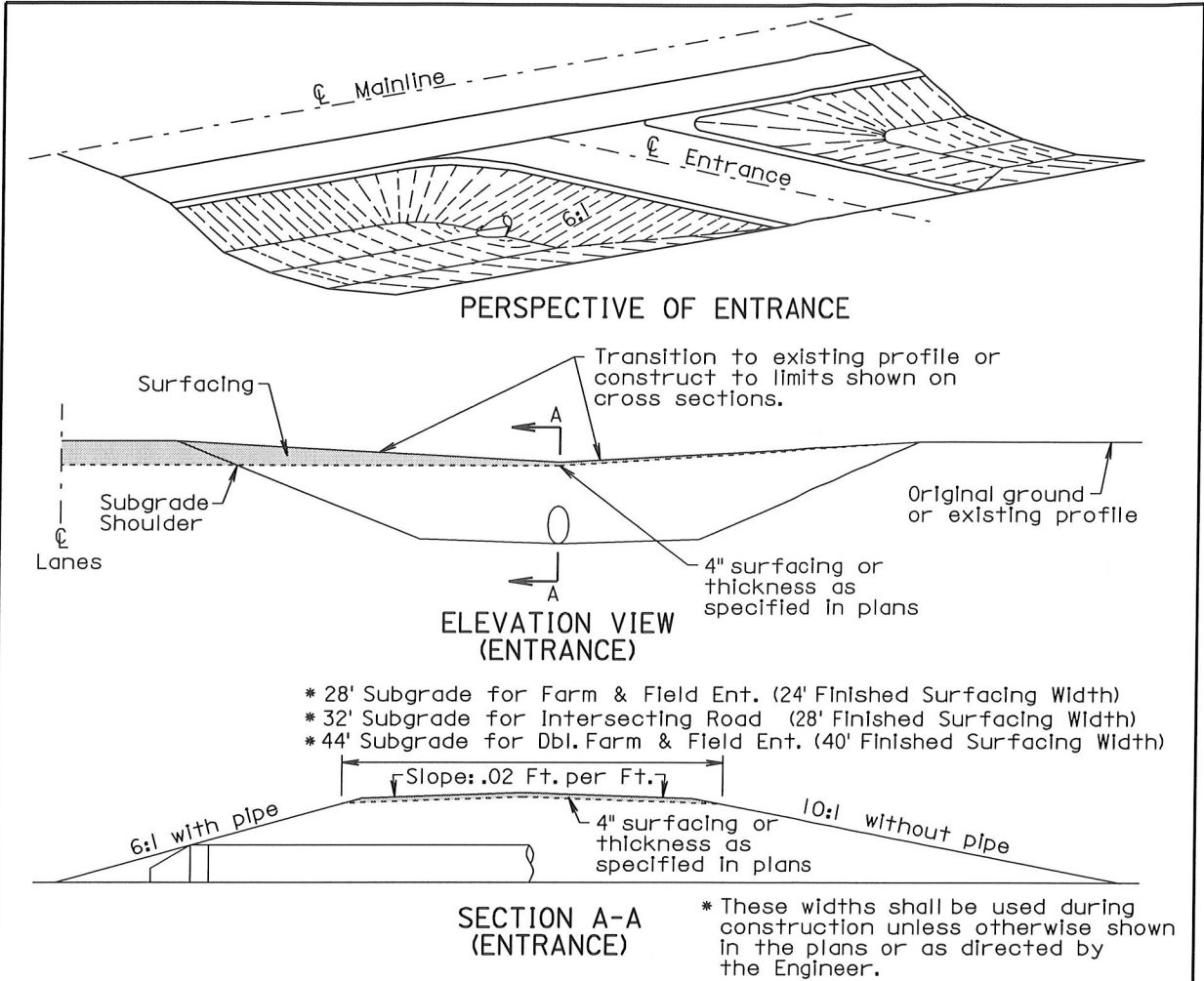
COUNTY HIGHWAY 33

S. D. HIGHWAY 34  
300'±



OPTION A - SKETCH SITE





**GENERAL NOTES:**

The ditch section shown above in the perspective and elevation view is only for illustrative purposes.

A 6:1 inslope shall be constructed for an entrance or intersecting road when a pipe is required. A 10:1 inslope shall be constructed when a pipe is not required.

Pipe lengths shall be adjusted if necessary during construction to obtain the 6:1 slopes. For grading projects, the pipe lengths are estimated typically using a 4" thickness of surfacing directly over the subgrade above the pipe.

The transition area between the mainline inslope and the approach inslope for intersecting road, farm and field entrances shall be rounded to eliminate an abrupt transition.

A minimum practical radius shall be constructed between the approach inslope and mainline inslope for farm and field entrances.

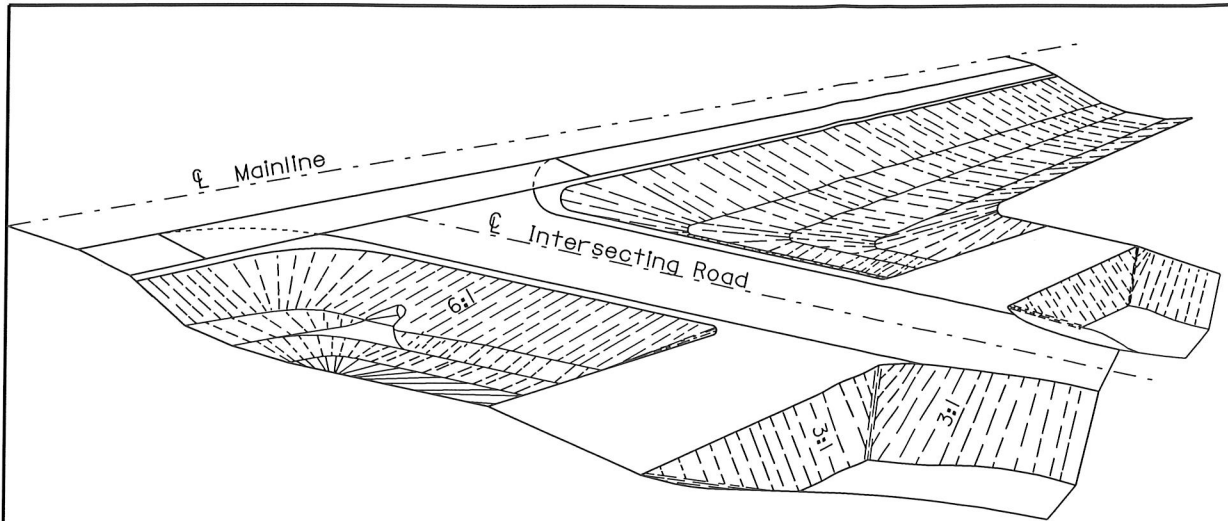
The turning radii shall be 35' for intersecting roads unless stated otherwise in the plans.

At locations where the new intersecting road ties into the existing mainline road, it may be necessary to construct field entrances back and ahead on the intersecting road beyond the mainline right-of-way in order to fit the flatter inslopes of the new approach to the steep inslopes of the existing intersecting road. At locations where these approaches have not been provided in the plans, they may be added at the discretion of the Engineer in order to obtain a suitable transition to the existing section.

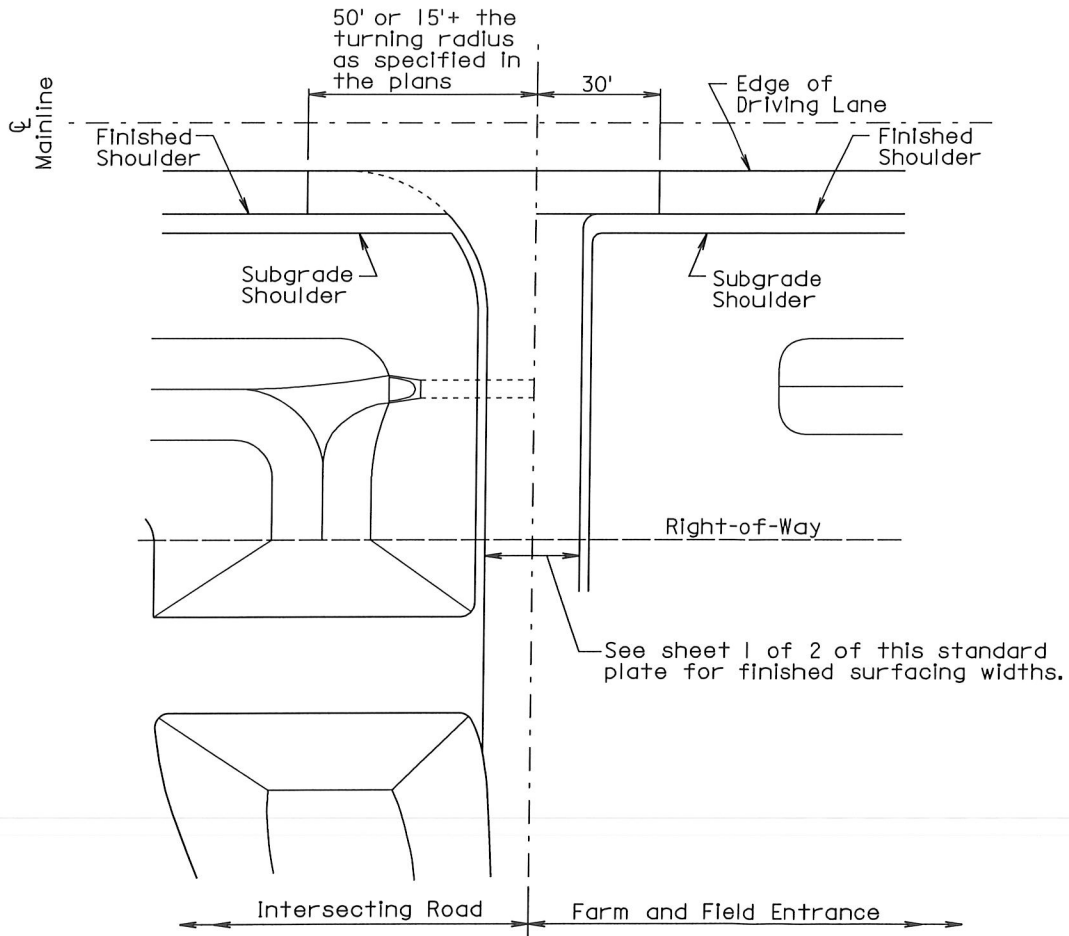
September 14, 2001

<b>S D D O T</b>	<b>INTERSECTING ROAD, FARM AND FIELD ENTRANCE</b>	<b>PLATE NUMBER</b> 120.01
		Sheet 1 of 2





PERSPECTIVE OF INTERSECTING ROAD

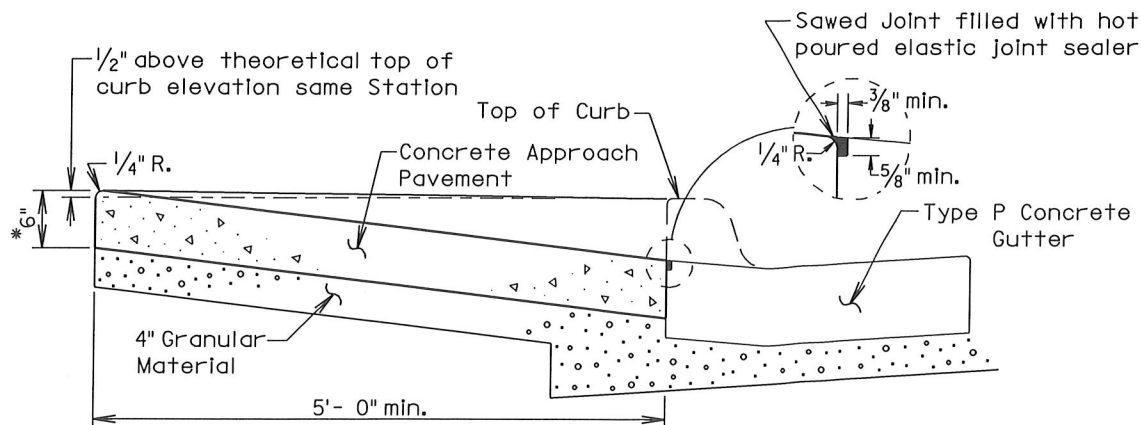


PLAN VIEW

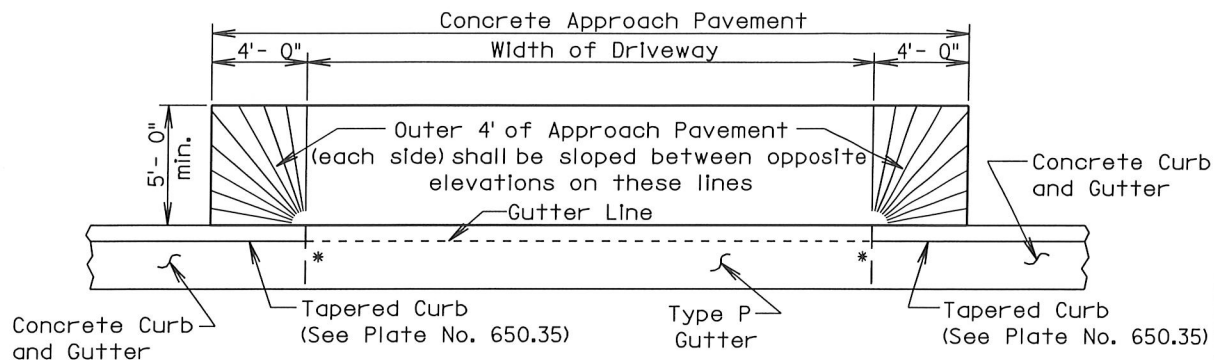
September 14, 2001

	<b>S D D O T</b>	<b>INTERSECTING ROAD, FARM AND FIELD ENTRANCE</b>	<b>PLATE NUMBER 120.01</b>
			Sheet 2 of 2

Plotting Date: 03-MAY-2002



\* 8" at Commercial Approaches      Transverse Section



Plan View

\* May or may not be a joint in the Type P Gutter at these locations

#### GENERAL NOTES:

The concrete in "PCC Approach Pavement" shall comply with the requirements of the Standard Specifications for Class M6 Concrete.

Concrete for driveways adjacent to approach pavement shall be Class M6 unless otherwise noted in the plans.

Contraction Joints shall be formed in the approach pavement by means of a suitable grooving tool. These joints shall have a depth of at least 1 1/2".

Joints shall be spaced as follows:

16' through 24' wide driveways: One joint at center of approach.

Greater than 24' through 40' wide driveways: Two joints spaced at equal intervals.

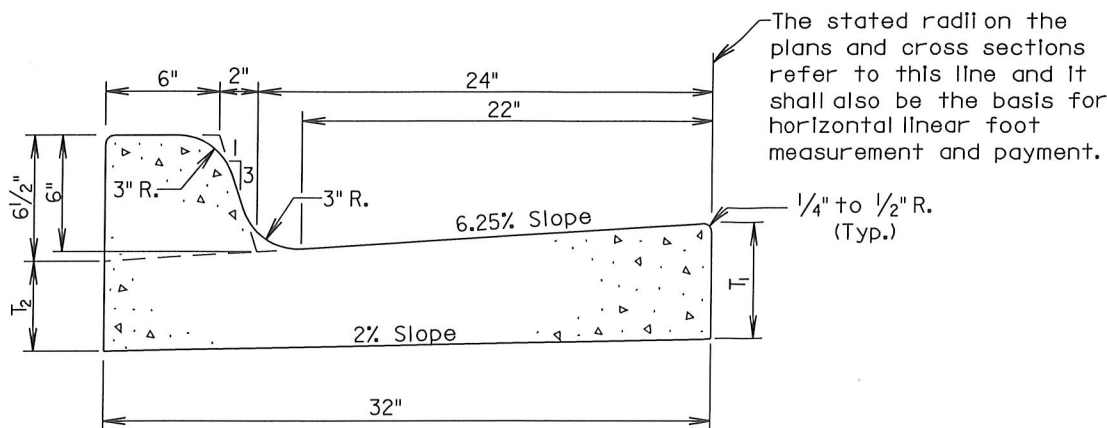
Preformed Expansion Joint Filler shall be placed between "PCC Approach Pavement" and any new or existing Concrete Sidewalks or Concrete Driveways.

Costs for furnishing materials, the expansion and contraction joints, forms, bracing, earth backfill, and labor shall be incidental to the contract unit price per Square Yard for "6" PCC Approach Pavement" or "8" PCC Approach Pavement".

Excavation required for placing PCC Approach Pavement and granular material shall be paid for as "Unclassified Excavation". The granular material shall be paid for with the respective granular material bid item.

March 31, 2000

<div style="writing-mode: vertical-rl; transform: rotate(180deg);">S D D O T</div>	<p style="text-align: center;"><b>PCC APPROACH PAVEMENT</b></p>	<p>PLATE NUMBER <b>380.20</b></p>
		<p>Sheet 1 of 1</p>



Type	T <sub>1</sub> (Inches)	T <sub>2</sub> (Inches)	Cu. Yd. Per Lin. Ft.	Lin. Ft. Per Cu. Yd.
B66	6	4 <sup>5</sup> / <sub>8</sub>	0.055	18.2
B67	7	5 <sup>5</sup> / <sub>8</sub>	0.063	15.9
B68	8	6 <sup>5</sup> / <sub>8</sub>	0.071	14.1
B68.5	8.5	7 <sup>1</sup> / <sub>8</sub>	0.075	13.3
B69	9	7 <sup>5</sup> / <sub>8</sub>	0.079	12.7
B69.5	9.5	8 <sup>1</sup> / <sub>8</sub>	0.084	11.9
B610	10	8 <sup>5</sup> / <sub>8</sub>	0.088	11.4

GENERAL NOTES:

- When concrete curb and gutter longitudinally adjoins new concrete pavement, the method of attachment shall be by one of the methods shown on Plate No. 380.11.
- 1/2" preformed expansion joint fillers shall be placed transversely in the curb and gutter as follows:
1. At each junction of radius return curb and gutter and curb and gutter which is parallel to the project centerline.
  2. At each junction with existing concrete curb or concrete curb and gutter.
  3. At each junction with existing concrete sidewalk, to the depth of the sidewalk.

When backface of curb and gutter is adjacent to concrete pavement or concrete sidewalk, 1/2" preformed expansion joint filler shall be placed longitudinally along the backface of the curb. The 1/2" preformed expansion joint filler shall be placed to the depth of the adjoining concrete.

Weakened plane joints shall be constructed at 10' intervals except when curb and gutter is constructed adjacent to mainline PCC pavement. When curb and gutter is constructed adjacent to mainline PCC pavement the joints shall coincide with the mainline PCC pavement's transverse joints. The joints shall be constructed to a minimum depth of one inch by scoring with a tool which will leave the corners rounded and provide free movement of concrete at the joint.

March 31, 2000

<div>SDOT</div>	TYPE B CONCRETE CURB AND GUTTER	PLATE NUMBER 650.01
		Sheet 1 of 1

ATTACHMENT TO PERMITS  
DOT – 200 UTILITIES  
DOT – 232 APPROACHES

REVEGETATION PLAN

Shaping:

Disturbed areas will be topsoiled and leveled to promote vegetation growth and to remove obstructions of drainage.

Seeding:

All disturbed areas will be seeded within three weeks of completion of the operation with the following seed mixture:

Rural: Intermediate Wheatgrass	15 lbs. of pure live seed per acre
Alfalfa	3 lbs. of pure live seed per acre
Total	18 lbs. of pure live seed per acre

Urban: Blue grass will be seeded to the manufacturer's specifications.

Fertilizing:

Commercial fertilizer with a guaranteed analysis of 18-46-0 will be applied at the rate of 100 lbs. per acre.

PLAT  
OF  
LAKEVIEW INDUSTRIAL PARK THIRD ADDITION  
TO  
MADISON, SOUTH DAKOTA  
(LOT 1, BLOCK 1)



SCALE 1" = 100'

LEGEND

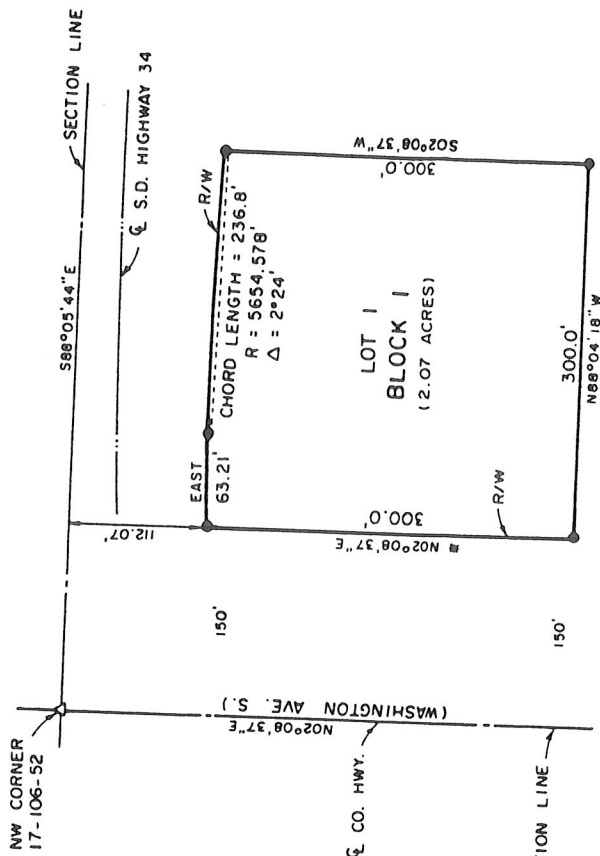
- TRACT BOUNDARY
- SURVEY MARKER SET

PROSTROLLO CITGO  
SCHULTZ

VICINITY MAP

★ BASIS FOR BEARINGS  
SDDOT R/W PLATS

NOTE: SUBJECT TO UTILITY EASEMENTS  
OF RECORD. VERIFY AS NECESSARY.



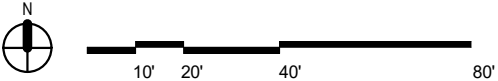








Site Plan





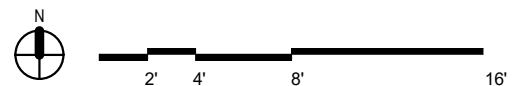
View from North



View from West



Upper Level - Option A  
Building One





Upper Level - Option B  
Building One











STATE OF SOUTH DAKOTA )  
 : SS  
 COUNTY OF LAKE )

IN CIRCUIT COURT  
 FOURTH JUDICIAL CIRCUIT

Rec'd  
 JUN 20 1977

-----  
 THE STATE OF SOUTH DAKOTA,  
 Acting by and through the  
 Department of Transportation  
 and the Board of Transportation  
 for the Division of Highways,

Plaintiff,

-vs

LAWRENCE HIDENSHIELD,

Defendant.

-----

Civ. 76-20

J U D G M E N T

The above entitled action having been settled among  
 the parties, pursuant to Stipulation, now therefore,

IT IS HEREBY ORDERED, ADJUDGED AND DECREED that the  
 Plaintiff have judgment against the above named defendant by  
 virtue of this condemnation action and is hereby vested with,  
 for highway right of way purposes, all right and use, as set  
 out in Plaintiff's Petition filed herein, including the right  
 to control access to the right of way in accordance with Chapter  
 31-8 of the 1967 South Dakota Compiled Laws and amendments  
 thereto, to the following described property:

PARCEL NO. 3  
 Lot H-3 in the North West One Quarter  
 (NW $\frac{1}{4}$ ) of Section 17, Township 106 North,  
 Range 52 West of the 5th Principal  
 Meridian in Lake County, South Dakota.  
 Said Lot H-3 contains 13.11 acres more  
 or less.

A parcel of land for cutslopes, more particularly  
 described as follows:

Beginning at a point 75 feet right of  
 Survey Station 1+55; thence to a point  
 150 feet right of Survey Station 1+55;  
 thence to a point 206 feet right of  
 Survey Station 3+65; thence to a point  
 110 feet right of Survey Station 10+45;  
 thence to a point 75 feet right of  
 Survey Station 10+45; thence along the  
 right of way line for a distance of  
 379.08 feet, more or less, to the point

State of South Dakota }  
County of Lake } ss.

I hereby certify that I have carefully compared the above and foregoing copy with the original now on file in this office and that the same is a true and correct copy thereof, in witness whereof have hereunto set my hand this 3<sup>rd</sup> day of Dec. 1976.

*Anthony W. B. Clerk*  
Deputy

thence along the right of way line for a distance of 379.79 feet, more or less, to the point of beginning containing 0.24 acre, more or less.

Beginning at a point 150 feet right of Survey Station 26+10; thence to a point 242 feet right of Survey Station 26+75; thence to a point on the north-south one-quarter line of said Section 17, 269 feet right of Survey Station 28+10; thence along said north-south one-quarter line of Section 17 to a point 150 feet right of Survey Station 27+60; thence along the right of way line for a distance of 146.07 feet, more or less, to the point of beginning containing 0.33 acre, more or less.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the defendants have deficiency judgment against the State of South Dakota for the difference between Seventeen Thousand Dollars (\$17,000.00) determined as just compensation, and Seven Thousand Two Hundred Thirty Seven Dollars and Thirty Eight Cents (\$7,237.38) having been deposited with the Court for the use of the defendants being in the amount of Nine Thousand Seven Hundred Sixty Two Dollars (\$9,762.62), plus interest pursuant to law, for all damages, taking and appropriation of the herein described property.

IT IS FURTHER STIPULATED approaches will be constructed pursuant to plans and as constructed.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that of the \$17,000.00, \$14,364.00 is designated as payment for land taken and \$2,636.00 is designated as damages to the remainder.

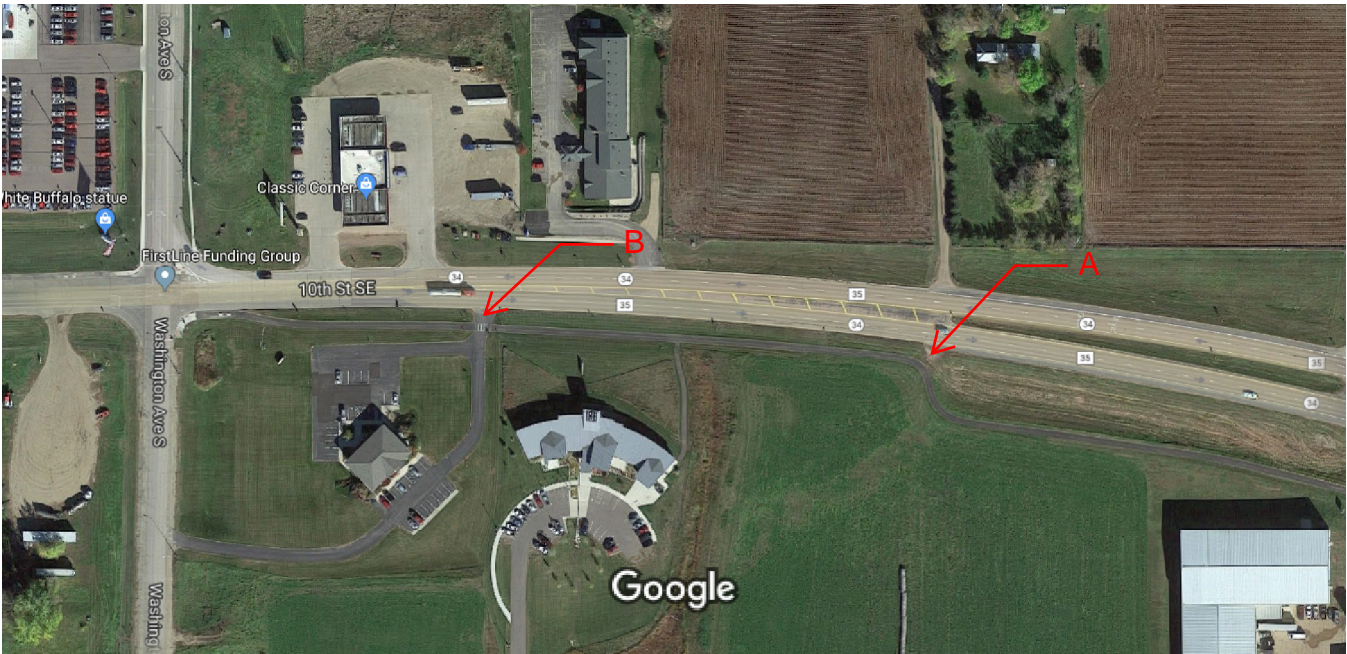
IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the Clerk of Courts of Lake County, South Dakota, release the said \$7,237.38 now on deposit to the defendant.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that each party bear its own costs.

State of South Dakota, County of Lake ss.  
Filed for record this 3<sup>rd</sup> day of Dec.  
1976 at 1:30 o'clock P.M., and  
recorded in Book 211, Page 643  
*Ann C. Anderson*

Dated this 1<sup>st</sup> day of December, 1976

BY THE COURT:



72036

State of South Dakota, County of Lake	
Filed for record this	6 day of Aug
at 9:00	clock A.M. and
Recorded in Book 370	Page 730
Terry Boatwright	
Register of Deeds	

#12.00 pd.

Prepared By:  
R. L. Ericsson  
Ericsson, Ericsson & Leibel  
Attorneys at Law  
PO Box 406, Madison, SD 57042  
Phone No. (605) 256-4597

WARRANTY DEED

CITY OF MADISON, a political subdivision of the State of South Dakota, of Lake County, South Dakota, GRANTOR, for and in consideration of other good and valuable consideration and One and no/100 (\$1.00) Dollar, GRANT, CONVEY AND WARRANT unto SOUTHRIDGE PROFESSIONAL CENTER, INC., a SD Corporation, of 1108 Regency Dr., Madison, South Dakota, 57042, P.O., GRANTEES, the following described real estate in the County of Lake, State of South Dakota, to-wit:

Lot One (1) in Block One (1) of Lakeview Industrial Park Third Addition to Madison, South Dakota;

EXEMPT FROM TRANSFER FEE pursuant to SDCL 43-4-22 (2);

Dated this 5th day of August, 2002.

EXEMPT FROM  
TRANSFER FEE

CITY OF MADISON, a political  
subdivision of the State of South Dakota

By George Tree  
Presiding Officer

ATTEST:

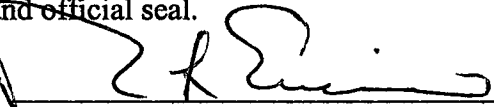
JP H. H. H. H. H.  
Finance Officer

STATE OF SOUTH DAKOTA     )  
  : SS  
COUNTY OF LAKE             )

On this the 5th day of August, 2002, before me, R.L. Ericsson, the undersigned officer, personally appeared George Lee, who acknowledged themselves to be the Presiding Officer and Finance Officer, respectively, of the City of Madison, a political subdivision of the State of South Dakota, and that they, as such Presiding Officer and Finance Officer, being so authorized to do, executed the above and foregoing instrument by signing the same in behalf of the City of Madison by themselves as Presiding Officer and Finance Officer for the purposes therein contained.

731

In witness whereof I hereunto set my hand and official seal.

  
\_\_\_\_\_  
Notary Public, State of South Dakota  
My comm. exp.: 6-25-2004





114580

State of South Dakota, County of Lake	
Filed for record this	16 day of Feb
at 9:00	clock A.M., and
Recorded in Book	604 Page 658
Penny Bopprecht	
Register of Deeds Seal	
# 30.00 P.D.	
# 490.00 T.F. P.D.	

Document Prepared By:  
R. L. Ericsson  
Ericsson Law Office, Prof LLC  
Attorneys at Law  
PO Box 406, Madison, SD 57042  
Phone No. (605) 256-4597

WARRANTY DEED

SOUTHRIDGE PROFESSIONAL CENTER, INC., a SD Corporation, by and through its authorized officer, of Minnehaha County, State of South Dakota, GRANTOR, for and in consideration of other good and valuable consideration and One and no/100 (\$1.00) Dollar, GRANTS, CONVEYS AND WARRANTS unto SOUTHRIDGE PROFESSIONAL BUILDING, LLC of 411 SE 10<sup>th</sup> St., Madison, SD, 57042, GRANTEE, the following described real estate in the County of Lake, State of South Dakota, to-wit:

Lot One (1) in Block One (1) of Lakeview Industrial Park Third Addition to Madison, Lake County, SD, according to the recorded plat thereof;

Dated this 1<sup>st</sup> day of February, 2016.

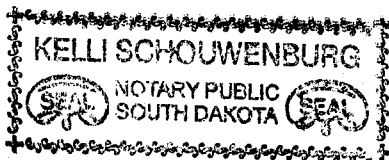
SOUTHRIDGE PROFESSIONAL  
CENTER, INC.

By Judson J. Bergan SS  
Judson J. Bergan, President

STATE OF SOUTH DAKOTA )  
: SS  
COUNTY OF LAKE )

On this the 1<sup>st</sup> day of February, 2016, before me, Kelli Schouwenburg, the undersigned officer, personally appeared JUDSON J. BERGAN, who acknowledged himself to be the President of SOUTHRIDGE PROFESSIONAL CENTER, INC., a SD Corporation, and that he, as such President, being so authorized to do, executed the above and foregoing instrument by signing the name of the Corporation by himself as President thereof for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.



Kelli Schouwenburg  
Notary Public, South Dakota  
My comm. exp.: March 20, 2020

TRANSFER FEE	
PAID \$	490.00 EXEMPT =
DATE 2-1-16	